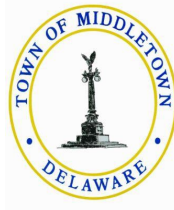


Deck Information Permit Pack



The Mayor & Council of Middletown

19 West Green Street

Middletown, DE 19709-1315

Phone: 302-378-1171

Fax: 302-378-5675

www.middletown.delaware.gov

permits&inspections@middletown.delaware.gov

2018 International Residential Code Town of Middletown Zoning Code

- All contractors must be licensed by the Town of Middletown.
- **Please Note:** All communities that have Homeowner Associations (HOA) or Architectural Committees may require review and approval of any improvements made on the exterior of your home. Please follow your communities' rules and regulations.
- Three (3) copies of a site plot plan / mortgage survey must be submitted, for review, to the Licensing and Inspection Department showing property lines and setbacks (measurements), from the property lines to the proposed deck. Decks must be drawn to scale and drawn in the exact location.
- Three (3) sets of construction drawings / building plans of the proposed deck are required to be submitted for review. These construction documents shall be drawn upon suitable material and legible.
- Inspections need to be scheduled with the Town of Middletown by calling 302-378-1171; all requested inspections must be confirmed by 2:30 pm for next day inspection. Please reference your job site by the building permit number and address. A 2-hour window, 1 hour before or 1 hour after the scheduled time of inspection is permitted for Town of Middletown Code Officials to arrive to perform the scheduled inspection.
- Please **post permits** and have **approved plans** on site at all times prior to beginning of your project. Please have all permits and approved plans on site at the time of required inspections. This is to verify placement and construction of the project.
- All electrical work is State regulated. Please follow all rules and regulations if electrical work is to be installed. Visit the State of Delaware's website at DPR.DELAWARE.GOV and click or search, Board of Electrical Examiners for electrical work permit information.
- Please call Miss Utility at 1-800-282-8555 or 811 prior to any digging.

Cost of Deck Permits

\$150.00 single story deck - \$175.00 2nd story deck

This includes the plan review and inspections.

Please Note: Plan review revisions may be subject to additional fees.

Required Inspections

(Please call 302-378-1171 schedule inspections)

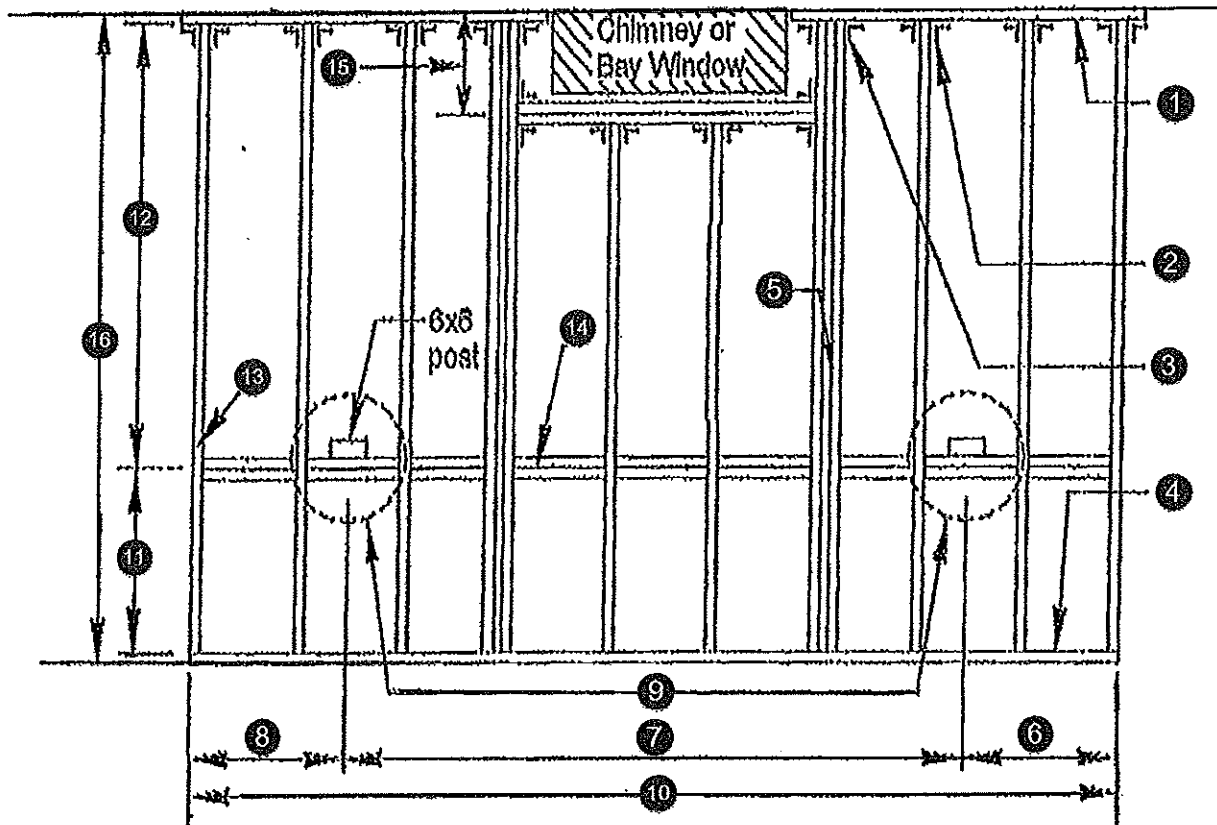
1. **Footer inspection** – For decks and steps, the inspection process involves two key steps. First footings must be inspected and approved, ensuring they are free of all loose soil, debris, and water. Second, if the concrete pour is not completed on the same day, a new footing pour inspection must be called in and scheduled.
2. **Framing** – At this inspection, access for visible inspection is required, i.e., no lattice or deck material should be installed in order to provide visible observation of construction.
3. **Final inspection** – upon completion, access is required to all areas for inspection.

*A minimum of three (3) inspections are required for all decks

The following pages are illustrations to help guide the design and construction of your deck. The pages are simple, fill in the blank deck drawing to help with the permit application and construction clarity. Please keep in mind, using these deck drawings, if there are any deviations existing from the approved plans, this may result in resubmission of such changes. A sample plot plan and permit is also included.

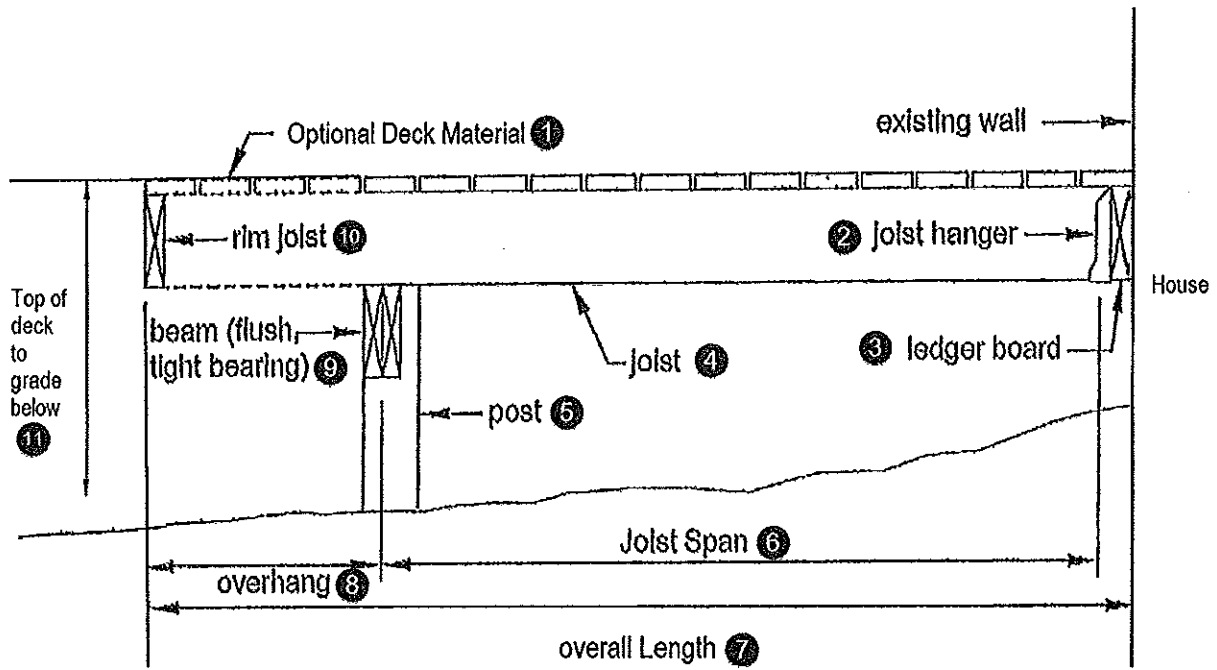
Typical Deck Layout

House



1. Ledger attachment: _____
2. Joist hanger type: _____
3. Double or triple joist hanger: _____
4. Front band size: _____
5. Double or triple girder size: _____
6. Beam overhang: _____
7. Beam Span: _____
8. Beam overhang: _____
9. Footing size with attachment to the house structure: **16" Diameter x 32" depth with a minimum of 8" concrete footing.**
10. Overall width: _____
11. Joist overhang: _____
12. Joist span: _____
13. Joist size: _____
14. Beam size: _____
15. Chimney or Bay window projection: _____
16. Overall Length: _____
17. Other: _____

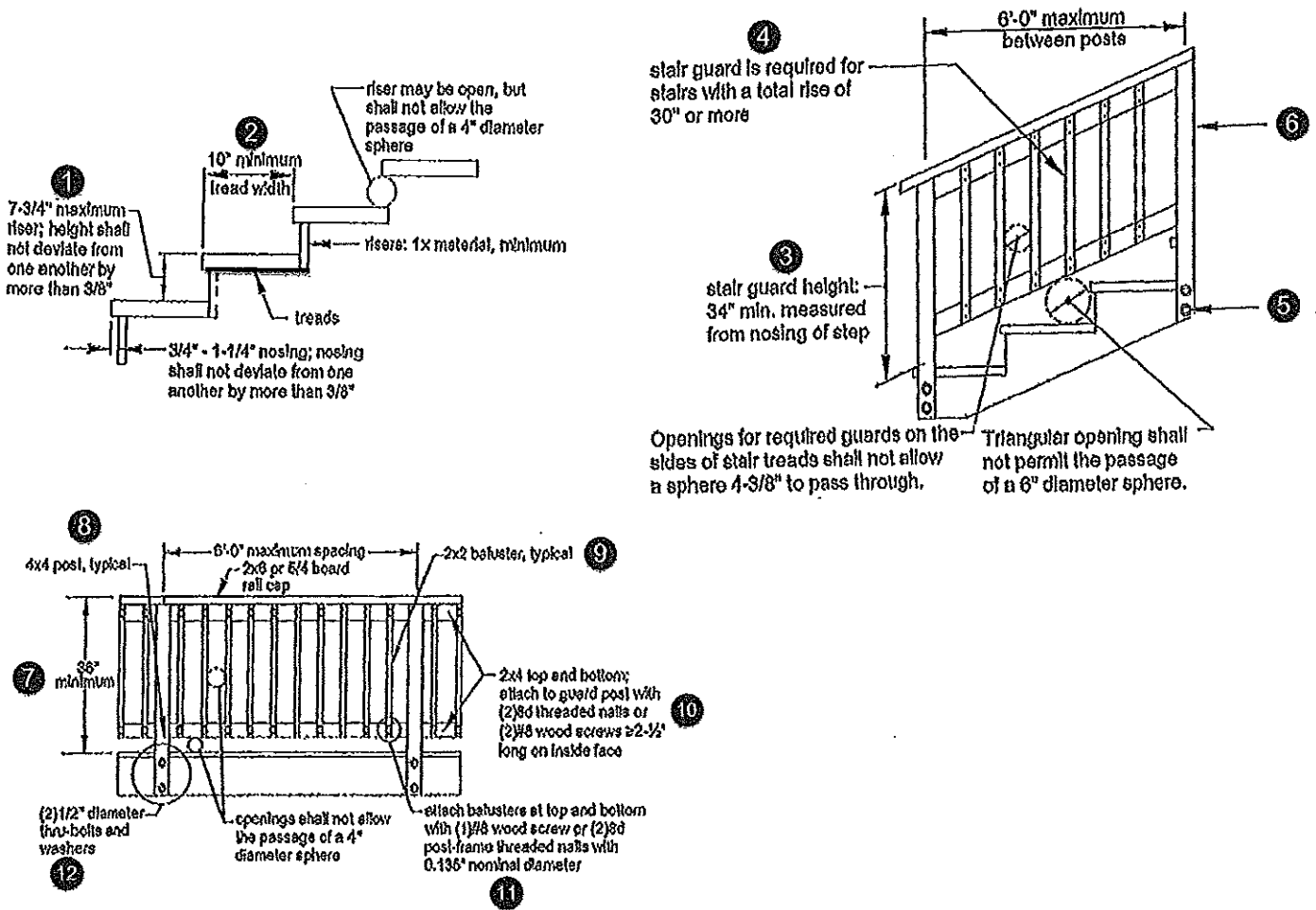
Typical Deck Section



1. Decking Material: _____
2. Joist Hanger Type: _____
3. Ledger Board Size: _____
4. Joist Size: _____
5. Post Size: 6 x 6 _____
6. Joist Span: _____
7. Overall Length: _____
8. Joist Overhang: _____
9. Beam Size: _____
10. Rim Joist Size: _____
11. Top of Deck to Grade Elevation: _____

12. Other:

Typical Stair and Railing Detail



1. Riser Height :

2. Tread Width :

3. Guard Height :

4. Guard

5. Bolts Type :

6. Stair Post Type :

7. Guard Height :

8. Guard Post Type :

9. Baluster Type :

10. Top and Bottom (if Applicable) Guard Type :

11. Baluster Attachment Type :

12. Guard bolt Type :

13. Other :

14.

15.

16.

17.

18.

19.

20.

XXX
REGISTERED LAND SURVEYORS

PHONE: XXX-XXX-XXXX
FAX: _____
GROUP.NET

A Division of

REGISTRY

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL WHILE CASING(S) ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW).
NOTE: NOT DEFINED ARE ABOVEGROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS. THIS IS A MORTGAGE INSPECTION PLAN, NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. GEN. STAT. CHAP. 40A, SEC. 2, UNLESS OTHERWISE NOTED. THIS INFORMATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.

MORTGAGE INSPECTION PLAN

NAME APPLICANT'S NAME

LOCATION 6

YOUR ROAD

YOUR TOWN

SCALE 1" = 30'

DATE _____

JOB #

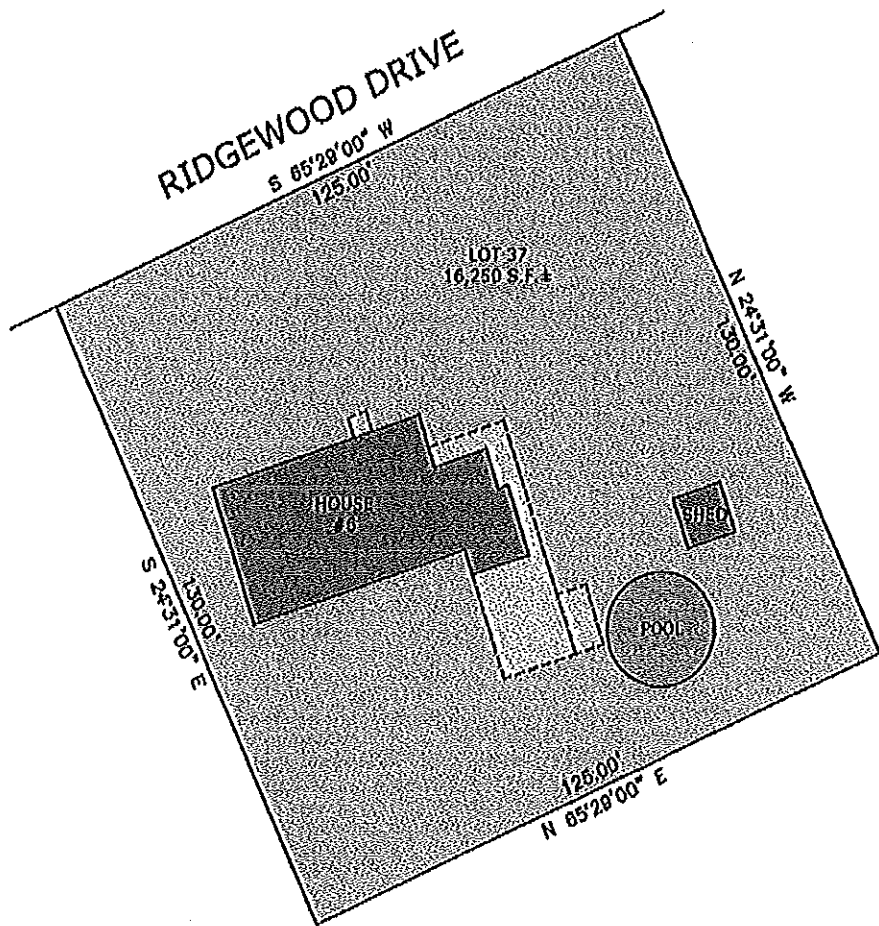
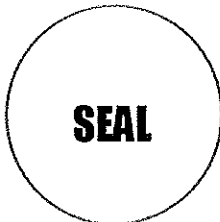
DEED BOOK/PAGE 7839/28

PLAN BOOK/PLAN 321/17

WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE HUD MAP.

G C DTD 01-07-00

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.



REQUESTING OFFICE:
REQUESTED BY:

DRAWN BY:
CHECKED BY:

Residential Building Permit Application



The Mayor & Council of Middletown
19 West Green Street
Middletown, DE 19709

Phone: (302) 378-1171 Fax: 302-378-5675
www.middletown.delaware.gov
permits&inspections@middletown.delaware.gov

APPLICANT <i>(Individual Applying For Permit)</i>	
Name: _____	Phone #: _____
Address: _____	Cell #: _____
City, State: _____	Fax #: _____
Zip Code: _____	Email: _____
Applicant's Signature: _____	
PROPERTY INFORMATION	
Parcel Number: _____	Zoning: _____
Street Address: _____	Lot #: _____
Owner's Name: _____	Development: _____
Street Address: _____	Phone #: _____
City, State & Zip: _____	Cell #: _____
CONTRACTOR Middletown Business License #: ____ - ____	
Name: _____	Phone #: _____
Address: _____	Cell #: _____
City & State: _____	Fax #: _____
Zip Code: _____	Email: _____
License Holder's Signature: _____	
TO BE COMPLETED FOR RESIDENTIAL HOME IMPROVEMENTS ONLY	
Description of Job: _____ _____ _____	
Total Square Feet: _____	Cost of Materials: _____
NOTE: Please Allow 10 Business Days For Permits To Be Processed	
FOR OFFICE USE ONLY	
NFIP / FLOOD ZONE EVALUATION:	
Is Property Located in SFHA? ____ Yes ____ No	What Zone? ____ A ____ AO ____ AE
Base Flood Elevation: _____	WRPA: _____
Reviewed By: _____	Riparian Buffer: _____
Plan Examiner: _____	Plan Review Fee: _____
Date: _____	Inspection Fee: _____
Application ID #: _____	Permit #: _____ Date: _____